



**ACT**  
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**Suburban Land**  
Agency

# Jacka 2 Stage 1 Residential Estate Housing Development Guide

May 2023



# Housing Development Guide

## Jacka 2 – Stage 1

### Contents

Contents .....	1
Version Control .....	3
Accessibility .....	4
Disclaimer .....	4
Specific Requirements .....	5
1. Variations.....	5
2. Additional Requirements.....	5
2.1. Verge Bond.....	5
2.2. Solar Bond .....	5
2.3. Claiming Your Bond .....	6
2.4. Home Energy Package Rebate .....	6
2.5. Front Garden Landscape Rebate .....	7
2.6. Bush Fire Requirements .....	7
2.7. Solid Fuel Heating Systems.....	8
2.8. Retaining Walls .....	8
2.9. Fencing.....	8
2.10. Front Fencing and Fencing to Open Space.....	9
2.11. Principle Private Open Space (PPOS) .....	9
2.12. Mandatory 2 and 3 Storey Built Form .....	10
2.13. Building Setbacks .....	10
2.14. Garages/ Carports.....	10
2.15. Articulation to Corner Blocks and Blocks Adjacent to Open Spaces .....	10
2.16. Midsize Block Provision .....	10



2.17. Mandatory Surveillance Blocks.....	10
2.18. Mandatory Habitable Room Fronting Open Space .....	11
2.19. Letterbox to Open Space.....	11
2.20. Mandatory Build to Boundary.....	11
2.21. Integrated Development Parcel.....	11
2.22. Limited Development Opportunity.....	11
2.23. Water Efficient Fixtures .....	11
2.24. Rainwater Tanks .....	12
2.25. Dog and Cat Containment.....	12
2.26. 7 Star NatHERS .....	12
Annexure A. Estate Plan.....	13
Annexure B. Block Details Table .....	15
Annexure C. Block Details Plans.....	23
Annexure D. Fencing Control Plans.....	32
Annexure E. Integrated development Plans.....	36
Annexure F. Block Fill Plans .....	42



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## Version Control

This section of the Specific Requirements shows the different versions that have been issued. On each page of the document there is also a page number, issue date and a version number. You should make sure you are using the most recent version.

Version	Date	Amendment Details
1.0	May 2023	

## Accessibility

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## Disclaimer

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## Specific Requirements

### 1. Variations

The Suburban Land Agency reserves the right to vary this document from time to time. Variations will be issued via an addendum to affected buyers who have entered into a First Grant Contract for a Block.

### 2. Additional Requirements

Outlined below are additional requirements that apply to Jacka 2 – Stage 1.

#### 2.1. *Verge Bond*

The ACT Government, Suburban Land Agency has installed and established as part of the estate works in your new community, new street trees and grassing to the verge areas. The trees and grass provide a green streetscape and contribute to shading your new home from summer sun, as well as contributing to the creation of habitat for native fauna in the area.

The street trees are looked after by the ACT Government's land custodian, Transport Canberra and City Services (TCCS), whilst the verge grassing is the responsibility of the lease holder of the block behind the verge. As part of the construction of your new home, you are required to protect the verge assets during construction and make good any damage upon completion of your landscape works. The verge includes the area forward of your property boundary line to the kerb and gutter and can include ACT Government assets such as concrete footpaths, driveways, kerb and gutters, light poles, mini pillars, street trees and grassing.

This can include but is not limited to re-grassing the verge if areas fail due to construction related activities. If there is other damage, from construction related activities, such as damage to the new street tree, or concrete footpath you are required to notify the Suburban Land Agency, so an assessment can be made as to the best way to repair these assets. If there is damage to ACT Government assets, please contact the Suburban Land Agency Place Management team at [SLAPlacemanagement@act.gov.au](mailto:SLAPlacemanagement@act.gov.au).

To ensure the verges are returned to their original state post construction, a \$1000 bond will be required at the time of settlement. Within six months of receiving your certificate of occupancy and no later than 30 months after settlement of your block, and once the verge is returned back to its original and established condition, the bond paid at time of settlement (and as detailed in your sales contract), can be reimbursed to you.

If you would like to change the verge surface treatment from grass to something else, such as a garden, please contact TCCS on 13 22 81.

#### 2.2. *Solar Bond*

Solar photovoltaic (PV) is a technology that converts sunlight (solar radiation) into electricity using semiconductors. Solar PV systems enable you to generate your own electricity, helping to reduce your



energy bills. Solar PV panels generate the most energy throughout the year when they are facing north (or closest to), and not overshadowed by buildings or other structures.

You must install a solar PV system with a minimum total rated power output of 5.5 kilowatts (kW) on the roof of the dwelling. Please note that to be eligible for the 2.4. Home Energy Package Rebate, a system of 6.5 kilowatts (kW) is required.

To ensure the installation of solar panels on homes in Jacka, a \$2000 bond will be required at the time of settlement. Within six months of receiving your certificate of occupancy and no later than 30 months after settlement of your block, and once a compliant solar PV system is installed, the bond paid at time of settlement (and as detailed in your sales contract), can be reimbursed to you.

The solar PV system must be sourced from a New Energy Tech Approved Seller, under the New Energy Tech Consumer Code (NETCC) Program. All equipment must be installed, commissioned, tested and certified by an ACT licensed tradesperson. They must also be a Clean Energy Council (CEC) accredited installer.

### **2.3. Claiming Your Bond**

To claim either of the above bonds following the completion of your house, you will need to send an email to [suburbanland@act.gov.au](mailto:suburbanland@act.gov.au) with the following information:

- Certificate of occupancy
- Photos of the verge showing its current condition, and photos of installed solar PV system
- If relevant, written agreement from TCCS to a change in the verge treatment

Please note –

- Documentary evidence must include the address of the dwelling where the item is installed and all relevant details. Evidence can be provided by a retailer, builder or the installer. A tax invoice OR a letter on a company letterhead are acceptable forms of evidence. Where a letter is provided from the builder or retailer the items can be combined.
- Photos are to be taken from ground level and can be combined. Hard copy photos must identify the Block and Section on the reverse side.
- When assessing a claim for bond return, the Suburban Land Agency may conduct an inspection of to verify that the verge has been returned to its original condition and solar PV system installed. If the Suburban Land Agency is not satisfied, at its sole discretion it may choose to not return the bond. If you require the use of the verge during construction, please contact Access Canberra on 13 22 81.

### **2.4. Home Energy Package Rebate**

The Home Energy Package Rebate supports Buyers or Eligible First Transferees in designing an energy efficient home that will increase health and comfort and lower your running costs throughout the life of your home. The Buyer or First Transferee of an Eligible Block will be entitled to receive a Rebate amount of \$7,000, where all the Eligibility Requirements have been fulfilled.



The Home Energy Package requires that Buyers or Eligible First Transferees of an Eligible Block include the following in the design and construction of their All-electric home:

1. **Roof Colour:** Build a home that has a “light” coloured roof with a solar absorptance value of less than 0.5; and
2. **Solar PV System:** Install a Solar PV system with a minimum total rated output of 6.5kW; and
3. **Hot Water System:** Install an energy efficient electric heat pump or electric boost solar hot water system; and
4. **Energy Demand Management System:** Install a home energy demand management system in the home; and
5. **EV Charging Point:** Install an electric vehicle dedicated charge point in the garage or carport.

For more information, please refer to “Home Energy Rebate Program Eligibility Guidelines”.

### **2.5. Front Garden Landscape Rebate**

Your The Front Garden Landscape Rebate supports Buyers or Eligible First Transferees in designing a climate-wise front garden that will help to keep your home cool and comfortable, save water, and support the local environment. The Buyer or First Transferee of an Eligible Block will be entitled to receive a Rebate amount of \$6,000, or \$7,000 for a corner block, where all the Eligibility Requirements have been fulfilled.

The Front Landscape Rebate requires that Buyers or Eligible First Transferees of an Eligible Block adhere to the following requirements in the design and construction of their front gardens:

1. **Paths and Paving:** any additional paths or hard landscaping beyond the driveway, entranceway and path to front door are to be constructed with permeable materials; and
2. **Feature Trees:** plant a minimum of 3 trees, or 6 trees for a corner block, of at least 45 litre pot size with a mature height of at least 3 metres; and
3. **Other Plants:** plant a minimum of 40 other plants, or 50 other plants for a corner block (other plants include shrubs, climbers, groundcover, ornamental grasses etc); and
4. **Species Diversity:** chosen trees and other plants are to be comprised of at least 5 different species; and
5. **Mulching:** all garden beds are to be mulched to a minimum depth of 75mm; and
6. **Non-compliant Landscape Features:** no artificial grass, black or dark gravel, or dyed mulch is to be used.

For more information, please refer to “Front Garden Landscape Rebate Eligibility Guidelines”.

### **2.6. Bush Fire Requirements**

Your level of bush fire risk affects your development requirements – the higher the risk, the more protection you need. The term ‘bush fire attack level’, or BAL, is used to quantify this risk. Refer to Block Details Plans for the block with bush fire requirements for building construction. The block identified will





need to construct buildings using materials and with features that meet the Australian Standard Building requirements for the Bushfire Attack Level (BAL) required for that specified block location.

### 2.7. Solid Fuel Heating Systems

All residents within Jacka 2 are required to comply with the Solid Fuel Heating restriction in the Memorandum of Provisions incorporated into the Crown Lease. Buyers are not to install or use a solid fuel heating system on the premises without the prior written approval of EPSDD.

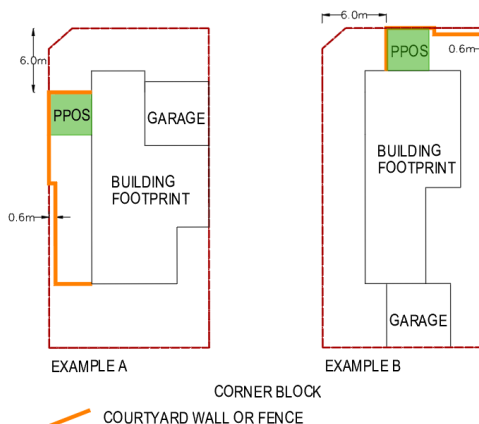
### 2.8. Retaining Walls

The height of site cuts along the side and rear boundaries and within 1.5m of the boundary is restricted to a maximum of 1m, with any boundary retaining wall also not to exceed 1m in height. Where there are services easements, the natural ground level above these easements cannot be altered. Maximum fence height must include any retaining wall that is foundational to the fence or wall. In rear loaded and attached dwellings fronting Road 02, retaining and front courtyard walls must be integrated with any front steps as a design solution. Refer to Fencing Controls Plans in Annexure D for the location of Sections requiring consideration towards integrated retaining wall, fencing and slab design.

### 2.9. Fencing

Provide both solid and semi-transparent elements within fencing/ courtyard designs. Colorbond solid fencing, chain mesh fencing, paling fences or raw or treated pine fencing must terminate at a minimum 1m behind the building line. These types of fencing are not permitted beyond the front of the building line. Maximum fence/ wall height is the cumulative height of retaining wall and fence. For garages located on a zero setback, fencing must terminate at the rear of the garage. For corner block:

- Minimum 6m setback to alignment intersection (the fencing cannot go further than 6m from the corner of the blocks to prevent vehicle site lines being obstructed)
- 50% of fencing at 0m setback and 50% of fencing at 0.6m setback (total length)
- No maximum fencing length



Detail 1: Corner Block Fencing Options

We acknowledge the Ngunnawal people, the Traditional Custodians of the lands and waters where we live and work, and pay our respects to the elders past, present and future.

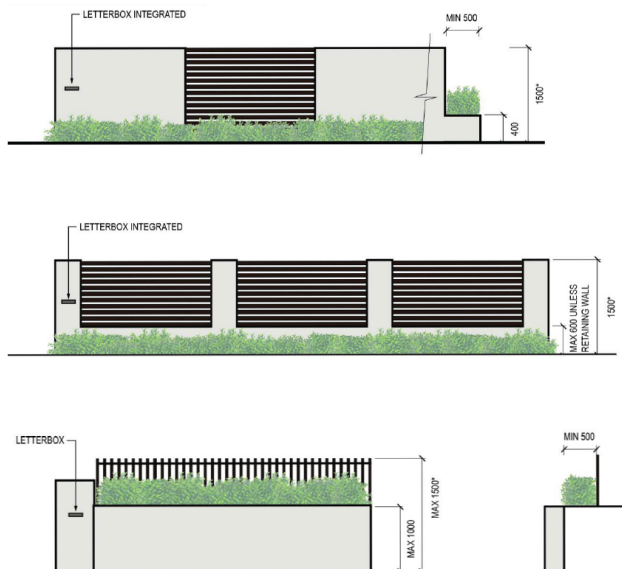


### 2.10. Front Fencing and Fencing to Open Space

Fencing controls are provided for blocks fronting directly onto open space, siding onto open space and interfacing with pedestrian paths. Controls for these conditions include:

1. **Front fence to open space:** Minimum setback of 0.6m for screening plants, Maximum 1.5m high where PPOS is located front of the building line and maximum 1.2m high elsewhere, provide access gates, provide both solid and semi-transparent elements within fencing/ courtyard designs.
2. **Side fence to open space:** Minimum setback of 0m, Maximum 1.5m high, provide both solid and semi-transparent elements within fencing/ courtyard designs.
3. **Side fence to pedestrian link:** Minimum setback of 0m, Maximum 1.5m high, provide access gate, provide both solid and semi-transparent elements within fencing/ courtyard designs.

Refer to Fencing Controls Plans in Annexure D for more details. No front fence, wall or balustrade is required in mixed use zone. There should be a seamless and open frontage from built form to promenade with only vertical separation to immediate natural open space and ponds.



Detail 2: Courtyard Wall or Fence Examples with Integrated Letterbox

### 2.11. Principle Private Open Space (PPOS)

PPOS cannot be lower than 1m below the front boundary level for a depth of 3m from the front boundary to the open space. PPOS on blocks in slope responsive areas sometimes require typologies in the form

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of over- under terraces or split-level houses whereby PPOS is permitted and best located on upper levels (balconies and rooftops) to optimise views and orientation.

Terraces fronting Road 02 also permit upper level PPOS due to block orientation and development optimisation that will enable the rear laneway to provide greenery consistent with Urban Forest objectives and amenity (Refer to Block Details Plans for alternative PPOS solution).

#### **2.12. Mandatory 2 and 3 Storey Built Form**

A maximum of 2 storeys is permitted for single residential. A third storey component may be considered in slope responsive areas and typologies in the form of over- under terraces or split-level houses. There is mandatory 2 and 3 storeys on certain blocks fronting collector road, mixed use centre and/or main pond area and certain open space (Refer to Block Details Plans in Annexure C).

#### **2.13. Building Setbacks**

Minimum building setbacks and mandatory side boundaries are introduced in a number of blocks to create a uniform streetscape and ensure all developments achieve an adequate amount of solar access and privacy (Refer to Block Details Plans for setback requirements).

#### **2.14. Garages/ Carports**

Garages and carports must be integrated with the overall design of the house and consistent with Block Details Plans where location of garage is stipulated.

Studios above garages should provide external stair access and be integrated with the style and materiality of the garage and primary dwelling. Driveways should be light colored, non-reflective and have the minimal allowable footprint under the Planning Code. Permeable paving is encouraged.

#### **2.15. Articulation to Corner Blocks and Blocks Adjacent to Open Spaces**

The house design must address both frontages for corner blocks consistent with the Fencing and Block Details Plans. This may be supplemented with a gate access requirement in some locations to further activate open space, paths and secondary frontages of importance.

#### **2.16. Midsize Block Provision**

Blocks between 500m<sup>2</sup> to 550m<sup>2</sup> are nominated as midsize blocks. Development on these blocks takes advantage of reduced setbacks and other design siting requirements. For more information, refer to latest Development Codes within the Territory Plan.

#### **2.17. Mandatory Surveillance Blocks**

Certain corner residential blocks with frontages to rear lanes are required to incorporate habitable rooms above garages. A habitable room means a room used for normal domestic activities i.e. bedroom, living room, study etc. This aims to provide better passive surveillance of rear lanes. For more information, see Rule 62 of the Estate Development Code within the Territory Plan.



### **2.18. Mandatory Habitable Room Fronting Open Space**

Residential blocks fronting open space in Section G are required to provide a habitable room, other than bedroom, facing the open space. This aims to provide better passive surveillance of the open space by increasing occasional sightlines and views from within the house.

### **2.19. Letterbox to Open Space**

Residential blocks fronting open space in Section G are required to provide park frontage letterboxes. Letterboxes must compliment the home and shall be constructed of a material consistent with a dominant house material. Prefabricated stand-alone style mailboxes are not permitted. Where a courtyard wall is constructed, the letterbox should be integrated into the wall.

### **2.20. Mandatory Build to Boundary**

Certain mid-sized blocks as part of a terrace arrangement are nominated with a mandatory build to boundary. Blocks nominated in the terrace arrangement allows zero side setbacks on the length of the boundary that is indicated by the brown triangle. The purpose of this control is to allow those end blocks to have the same setbacks as the other terrace blocks and for a uniform look in the development.

### **2.21. Integrated Development Parcel**

A number of integrated development parcels (IDPs) are proposed within Jacka 2. These parcels of lands are intended to be subdivided into two or more single dwelling blocks and used for an integrated housing development. Refer to Integrated Development Plans in Annexure E for indicative building envelopes.

### **2.22. Limited Development Opportunity**

Single dwelling blocks that do not comply with R47 of The Estate Development Code (EDC) and are not contained in an integrated housing development parcel are identified in the estate development plan as limited development potential blocks. Refer to Block Details Plans for location of blocks with limited development opportunity.

### **2.23. Water Efficient Fixtures**

Water efficient fixtures and fittings must be installed with the following minimum (although higher star ratings are encouraged) star rating in accordance with the Water Efficiency Labelling & Standards (WELS) Scheme:

1. **Showerheads:** 3 star with flow rate of less than 9 litres/minute
2. **Tapware in kitchens and wet areas:** 4 star
3. **Toilets:** 4 star
4. **Dishwashers** (if fitted): 4 star
5. **Washing machines** (if fitted): 4 star



#### **2.24. Rainwater Tanks**

Rain water tanks must be installed in accordance with R6.1 of the Single Dwelling Housing Development Code including minimum roof capture areas and internal and external connection requirements (See Part 5 for size requirements). Alternatively, a greywater system captures all bathroom and laundry greywater and treats it to Class A standard. The treated greywater is connected to all laundry cold water, toilet flushing and all external taps.

#### **2.25. Dog and Cat Containment**

The estate has been declared a cat containment area which means all cats in these areas, regardless of age, must be contained. Impacts of dogs and cats on wildlife, check SLA buyers guide for information. Dog registration is compulsory in ACT.

#### **2.26. 7 Star NatHERS**

The 2022 National Construction Code required all new houses and apartments to meet a minimum energy efficiency rating of 7 stars under the Nationwide House Energy Rating Scheme. Higher ratings are encouraged in the estate.

The scheme covers provisions on orientation and layout, glazing and openings, insulation, ventilation, heating and cooling, lighting and colour/material selection.

Further information can be found on the [Nationwide House Energy Rating Scheme \(NatHERS\)](#) website.